

PLANNING AND DEVELOPMENT
CURRENT PLANNING DIVISION



9770 CULVER BOULEVARD, CULVER CITY, CALIFORNIA 90232-0507

(310) 253-5710
•
www.culvercity.org

October 10, 2024

Ladan Zolfaghari
It-makes
110 E 9th Street Suite C881
Los Angeles, CA 90079

SUBJECT: ADMINISTRATIVE USE PERMIT, P2024-0144-AUP, REQUEST FOR OUTDOOR DINING PATIO AND ANCILLARY ALCHOLIC BEVERAGE SALES 12300 Washington Boulevard in the Commercial General (CG) zone

Dear Ladan Zolfaghari,

The Current Planning Division has approved your Administrative Use Permit, P2024-0144-AUP, to permit outdoor dining and alcohol sales at an existing office being converted to a restaurant at 12300 Washington Boulevard in the former Commercial General (CG) Zone. The approval is subject to the outlined conditions in Attachment No. 1.

This administrative decision may be appealed in accordance with Title 17, Section 17.640.030 Appeals, by any interested person within 15 calendar days of approval.

For any inquiries, please contact Narek Mkrtoumian, Planning Technician, at (310) 253-5714 or narek.mkrtoumian@culvercity.org.

Sincerely,

Mark E. Muenzer
Planning and Development Director

Enclosures:

1. Attachment No. 1 – Analysis and Conditions of Approval
2. Site Plan dated September 3, 2024

Copy: Timothy Koutsouros, Building Official
Emily Stadnicki, Current Planning Manager
Dave Montgomery, Fire Prevention Specialist
Sammy Romo, Senior Civil Engineer
Marian Aspnes, Enforcement Services Manager
Case File – No. P2024-0144-AUP

**Attachment No. 1 - Criteria and Analysis for
Administrative Use Permit and Conditions of Approval
12300 Washington Boulevard – Streetside Pizza Cafe
AUP for Outdoor Dining and Alcoholic Beverage Sales, P2024-0144-AUP**

Requirements

Pursuant to Culver City Municipal Code (CCMC) Section 17.220.015 – Commercial District Land Uses and Permit Requirements, on-site outdoor dining on private property requires the review and approval of an Administrative Use Permit (AUP) in compliance with the regulations outlined in CCMC Section 17.400.070 – Outdoor Dining. CCMC Section 17.400.015 requires an AUP to sell alcoholic beverages ancillary to a food service use when the subject property is within 300 feet of residentially zoned property. Residentially zoned properties on Campbell Drive, Grand View Boulevard, Herbert Street, and Herbert Way fall within 300 feet of the subject property.

Project Description

The proposed 173-square-foot outdoor dining patio is located within the former parking lot adjacent to the existing restaurant at 12300 Washington Boulevard. Most of the site is in Culver City, while the rear portion, including the existing garage, is in the City of Los Angeles. The applicant must obtain building permits from both jurisdictions. This project involves converting an existing office building in Culver City into a restaurant and adding a permanent glass structure between the existing office and the rear garage. Despite modifying the parking lot, the applicant intends to maintain 12 parking spaces on the site. The restaurant plans to operate with a Type 41 (On-sale beer and wine) alcohol license.

The subject property was zoned Commercial General (CG) at the time of application submittal and is located on the north side of Washington Boulevard at Campbell Drive. The project site is a generally flat, triangular parcel, measuring approximately 12,363 square feet. The property abuts an R-1 property to the rear or south; that property is within the City of Los Angeles. To the east, west, and north, across Washington Boulevard, the parcels were zoned CG.

Analysis

Outdoor Dining

The outdoor dining area is part of a larger project to convert an existing 2,044 square foot office and rear garage into a counter-service restaurant. Additionally, an 800 square foot permanent glass structure will be built, and the garage will be converted into a lounge. The combined seating capacity will be 88 seats. The 173 square foot outdoor dining patio will accommodate 14 diners adjacent to the primary structures along Campbell Drive.

The design of the outdoor seating meets the requirements of CCMC Section 17.400.070.

The patio would operate with the same hours of operation as the restaurant.

Day	Hours
Sunday – Thursday	11:00 AM - 11:00 PM
Friday – Saturday	11:00 AM – 12:00 AM

Alcoholic Beverage Sales

Per the conditions of approval, alcohol sales shall cease in the outdoor dining area as soon as the kitchen is closed. Alcohol sales in the outdoor dining area remain secondary to the primary restaurant use. If patio operations continue beyond kitchen closure, the approval for outdoor alcohol sales can be adjusted or withdrawn as outlined in the Conditions of Approval.

Environmental Determination

The proposed Project is considered exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Class 3 – New Construction of Small Structures because the project is a minor expansion to include an 800 square foot permanent glass structure and a 173 square foot outdoor dining area at an existing office that is being converted to a by-right restaurant use.

Public Notification and Comments

On September 12, 2024, notifications regarding the pending administrative decision and an invitation to provide comments were sent to property owners and occupants within 500 feet of the Project Site. The public comment period closed on September 27, 2024. The city received no comments from the public.

Appeal

This administrative decision may be appealed in accordance with Title 17, Section 17.640.030 Appeals, by any interested person within 15 calendar days of approval, by 5:30 PM. If no appeal is filed, the decision shall become final. If a timely appeal is notified, City staff will notify the applicant.

Findings:

As outlined in CCMC Title 17, Section 17.530.020, the following required findings for an Administrative Use Permit are hereby made:

- A. The proposed use is allowed within the subject zoning district with the approval of an Administrative Use Permit and complies with all applicable provision of this Title and CCMC.**

The project proposes outdoor dining and the conversion of an existing office into a restaurant. Outdoor dining is permitted with an Administrative Use Permit when it's ancillary to a food service use in commercial zones, as outlined in CCMC Section

17.220.015. The proposed outdoor dining layout complies with all other applicable provisions of CCMC 17.400.070 - Outdoor Dining. Alcoholic Beverage sales are allowed subject to the approval of an AUP per CCMC Section 17.400.015 when the subject property is within 300 feet of residentially zoned properties. The subject property is located within 300 feet of residentially zoned properties on Campbell Drive, Grand View Boulevard, Herbert Street, and Herbert Way.

B. The proposed use is consistent with the General Plan and any applicable Specific Plan.

At the time of submittal, the subject site was designated General Corridor by the General Plan Land Use Element, meant to allow a range of small- to medium-scale commercial uses with an emphasis on community-serving retail. This Project is consistent with (former) General Plan Land Use Objective 5 – Economic Diversity – because outdoor dining and alcoholic beverage sales will increase opportunities for the subject business that will further expand Culver City’s economic base and serve the needs of residents. The Project was also consistent with Objective 6 – Commercial Corridors – Service of alcoholic beverages helps attract more customers and is a key element to food service establishments in commercial corridors. This use and operation will help stimulate activities in the area, consistent with the former Policy 6.A: “Encourage revitalization of commercial corridors in the City through new development and renovation of existing structures.” Allowing alcohol sales in combination with food retail will complement similar uses—food retail and restaurants.

C. The design, location, size and operating characteristics of the proposed use are compatible with the existing and future land use in the vicinity of the subject site.

The proposed use, design, location, size, and operating characteristics of the outdoor dining patio will have minimal impact on adjacent uses. The proposed outdoor dining is surrounded by an arterial roadway, with any noise from patrons in the outdoor dining expected to have negligible impact on adjacent commercial uses and residential uses since the outdoor dining will cease at 12 AM. Should alcoholic beverage sales adversely impact the surrounding community, per the Conditions of Approval herein the City may modify or revoke the AUP. Therefore, the use is found to be compatible with the existing and future commercial and residential land uses in the vicinity.

D. The subject site is physically suitable for the type and intensity of use being proposed, including access, compatibility with adjoining land uses, shape, size, provision of utilities and the absence of physical constraints.

The subject business was previously used as a by-right office building and the conversion to a restaurant with outdoor dining and alcoholic beverage will complement the existing services provided in the commercial corridor of Washington Boulevard. The design of the outdoor seating is compatible with the main structure.

The outdoor dining is compatible with the surrounding commercial uses and will not cause additional noise that would affect nearby residential uses.

E. The establishment, maintenance or operation of the proposed use will not be detrimental to the public interest, health, safety, or general welfare or injurious to persons, property or improvements in the vicinity and zoning district in which the property is located.

The establishment of outdoor dining and alcohol sales outdoors will not be detrimental to the public interest, health, safety, or general welfare or injurious to persons, property, or improvements in the surrounding commercial and residential zoning districts since the outdoor dining will be ancillary to an existing legal non-conforming bar/restaurant use that is not the known cause of any neighborhood complaints. The AUP can be adjusted or withdrawn for non-compliance with the Conditions of Approval or if the operation of the outdoor dining conflicts with the surrounding neighborhood.

Conditions of Approval

1. The applicant is required to submit a Building Permit Application along with four sets of plans to the Building Safety Division on the 2nd floor of Culver City Hall (9770 Culver Blvd. Culver City, CA 90232). Separate permits are mandatory for Mechanical, Electrical, and/or Plumbing (MEP) work.
2. These Conditions of Approval are being imposed on the outdoor dining area for an existing office use being converted to a restaurant with outdoor dining and on the Type 41 on-sale beer and wine alcohol sales – at 12300 Washington Boulevard (Streetside Pizza Cafe).
3. The applicant shall be required to submit to the Current Planning Division the following:
 - a. Copy of the California Alcoholic Beverage Control (ABC) license.
 - b. Copy of each license suspension or citation issued by ABC upon such issuance.
4. The establishment shall follow all conditions of the alcohol license Type 41 (On-Sale Beer and Wine – Eating Place) issued by ABC as well as all other relevant portions of the CCMC.
5. The City reserves the right to request of ABC, additional conditions, such as hours of operation restrictions, restriction of the type of alcohol sold, or other conditions that the City may deem necessary to reduce potential impacts.
6. Consumption of alcohol shall meet and follow the requirements of ABC and CCMC Section 17.400.015 – Alcoholic Beverage Sales.

7. The food service establishment management shall be responsible for governing the number of alcoholic beverages provided to patrons in accordance with applicable State statutes.
8. Any outdoor music shall comply with all applicable CCMC Noise Regulations.
9. The operator of the legal non-conforming bar/restaurant shall be responsible for requiring that there be no loitering on the site at any time and that all customers leave the site no later than 30 minutes after closing. Loitering that is caused by the establishment in the public right-of-way, parking area, and/or in front of adjacent properties shall be strictly and reasonably enforced by the operator.
10. The use of the outdoor dining area shall be limited to and shall at no time operate outside the hours of operation for the food service use. The Planning and Development Director or Designee may reduce the hours of operation of the outdoor dining area or take other corrective measures at any time should it be determined, at the Planning and Development Director or Designee's discretion, that the operation of the outdoor dining conflicts with the surrounding neighborhood.
11. The outdoor dining areas shall only be used and made available to patrons of the food service establishment who purchase food and beverages from the subject business. The outdoor dining area shall not be used or made available to patrons of any other business.
12. The outdoor dining area shall always follow the requirements of CCMC Section 9.11.110 – Smoking Prohibited in Outdoor Dining Areas. Smoking within the outdoor dining area and within five feet of the outdoor dining area shall be prohibited; a sign specifying this restriction shall be conspicuously displayed. The number, size, precise language, and location shall comply with CCMC Section 9.11.110, subject to review and approval by the Planning and Development Director or Designee prior to installation.
13. The outdoor dining barrier, furniture, and other approved amenities shall be placed only in the locations shown on the site plan. Any modifications shall be submitted to, reviewed, and approved by the Current Planning Division, pursuant to CCMC Section 17.595.035 – Changes to an Approved Project.
14. There shall be no advertising on any of the outdoor dining amenities, including the proposed perimeter barrier.
15. No cooking shall be allowed or permitted in the outdoor dining area.
16. Exterior lighting, including any temporary and/or portable lighting in the outdoor dining area, shall be shielded or recessed so that glare and reflections are confined within the boundaries of the site, and shall be directed downward and away from adjoining properties.

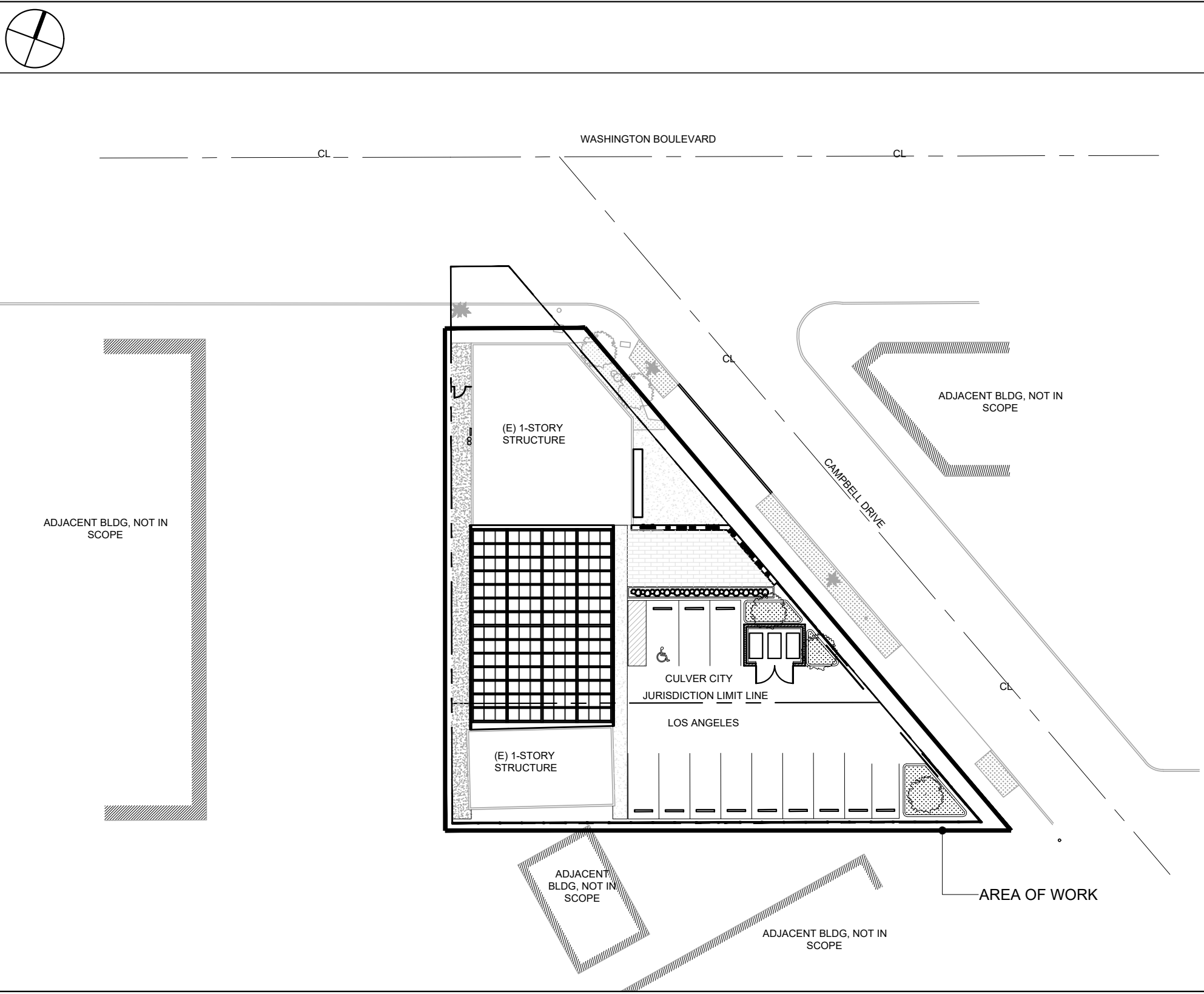
17. The property, including any associated outdoor dining area, common area, etc., shall be maintained in a clean and attractive condition and shall be kept free of graffiti, litter, trash, debris, and food waste.
18. The restaurant use and outdoor dining area shall be operated and maintained with regard for the character of the surrounding neighborhood, and the right is reserved to the Planning and Development Director or Designee to impose additional corrective conditions, if, at the Planning and Development Director or Designee's discretion, such conditions are deemed necessary for the protection of persons in the neighborhood or occupants of adjacent properties.
19. The land use permit to which these Conditions of Approval apply (the "Land Use Permit") shall expire one year from the date of final approval of said Land Use Permit if the use has not been exercised. As provided in CCMC Section 17.595.030 – Time Limits and Extensions, an applicant may request an extension of said expiration date by filing a written request with the Current Planning Division prior to the expiration of the land use permit.
20. The use and development of the property shall comply with these Conditions of Approval and all applicable local, special district or authority, county, state, and federal statutes, codes, standards, and regulations including, but not limited to, Building Safety Division, Fire Department, Current Planning Division, and Public Works Department requirements, and shall comply with all applicable CCMC requirements and all comments made during the City's building permit plan check review process. Failure to comply with said conditions, statutes, codes, standards, and regulations may result in reconstruction work, demolition, stop work orders, withholding of certificate of occupancy, revocation of land use permit approval and/or any other lawful action the City might deem reasonable and appropriate to bring about compliance.
21. Changes to the Project or use approved as part of the Land Use Permit may only be made in accordance with the provisions of CCMC Section 17.595.035 – "Changes to an Approved Project."
22. Pursuant to CCMC Section 17.650.020 – Inspection, the Property Owner and Applicant shall allow authorized City Officials, or their designees, access to the property where there is reasonable cause to believe the Property is not in compliance with these Conditions of Approval or other requirements of the CCMC.
23. Pursuant to CCMC Section 17.660 – Revocations and Modifications, the Administrative Use Permit may be revoked or modified if the conditions of approval herein are not complied with or if there are adverse impacts to the surrounding community or nuisances result from this approval. Prior to any such revocation, timely notice and response opportunities shall be given to the property owner.
24. Violation of, or noncompliance with, any of these conditions of approval shall constitute grounds for revocation of this AUP as provided below:

- a. Upon issuance of, and non-resolved, three violation citations within one year.
 - b. Upon the revocation of the alcoholic beverage license by ABC.
 - c. Upon any two disciplinary actions by ABC in the form of a fine or suspension of the alcoholic beverage license.
25. In the event of a change in tenancy of restaurant use to a different legal non-restaurant use, the operator of the new restaurant use shall submit a written notice of the change and the proposed floor plan for both indoor and outdoor dining areas to the Current Planning Division prior to issuance of any building permit, approval of any business tax certificate and/or occupancy. The Planning and Development Director or Designee shall review said written notice and floor plan and may require that a modification to this Administrative Use Permit be submitted and, upon review of the modification, may modify, add, or delete conditions contained herein to ensure that the findings contained herein can still be met.
26. Follow-up review of the operation of the restaurant use, which may include a site visit, as determined by the Current Planning Division shall be conducted after six months and after one year of full operation. If it is determined that the restaurant use is not operating to the satisfaction of the conditions of approval and other provisions in the CCMC as determined by the Planning and Development Director, additional conditions may be imposed.
27. By taking any benefit of this land use permit approval, the applicant and property owner hereby indemnify and agree to defend (at the Applicant's and Property Owner's sole expense, with legal counsel approved by the City) and hold harmless the City, and its elected and appointed officials, officers, employees, agents, contractors and consultants from and against any and all loss, damages, injuries, costs, expenses, liabilities, claims, demands, lawsuits, attorneys' fees and judgments, arising from or in any manner connected to any third party challenge to the City's approval of the Project.
28. The project is subject to sewer facility charge.
29. A copy of this decision letter shall be always kept on the premises.

ABBREVIATIONS

AFF ABOVE FINISHED FLOOR	FLR FLOOR (ING)	PVC POLYVINYL CHLORIDE
ACS DR ACCESS DOOR	FD FLOOR DRAIN	PCF POUNDS PER CU.FT.
ACST ACOUSTIC	FT FOOT	PSF POUNDS PER SQ. FT.
ACT ACOUSTICAL CEILING TILE	FTG FOOTING	PSI POUNDS PER SQ. INCH
ADDM ADDENDUM	FR FRAME	PROJ PROJECT (ION)
ADJ ADJACENT	FS FINISH SURFACE	QTY QUANTITY
A/C AIR CONDITION	FUR.CH. FURRING CHANNEL (S)	RWL RAIN WATER LEADER
ALT ALTERNATE	GA GAGE	RECPT RECEPTACLE, ELECTRIC
ALUM ALUMINUM	GAL GALLON	REC RECESS (ED)
AB ANCHOR BOLT	GALV GALVANIZED	REF REFRIGERATOR
APPROX APPROXIMATE	GI GALVANIZED IRON	RE REFER TO
ARCH ARCHITECT	GC GENERAL CONTRACTOR	RCP REFLECTED CEILING PLAN
AD AREA DRAIN	GL GLASS	REG REGISTER
BM BEAM	GB GRAB BAR	REQD REQUIRED
BRG BEARING	GWB GYPSUM BOARD	RESIL RESILIENT
BM BENCH MARK	HNDRL HANDRAIL	RESIL RESILIENT FLOORING
BTWN BETWEEN	HDW HARDWARE	RET RETURN
BTJM BITUMINOUS	HTR HEATER	RA RETURN AIR
BLK BLOCK	HTG HEATING	REV REVISION
BLKG BLOCKING	HVAC HEATING, VENTILATING & AIR CONDITIONING	RH RIGHT HAND
BD BOARD	HPC HIGH PERFORMANCE COATING	R RISER
BS BOTH SIDES	HT HEIGHT	RD ROOF DRAIN
BOS BOTTOM OF STEEL	HC HOLLOW CORE	RH ROOF HATCH
BOT BOTTOM	HM HOLLOW METAL	RV ROOF VENT
BLDG BUILDING	HORIZ HORIZONTAL	RM ROOM
BUR BUILT-UP ROOFING	HB HOSE BIBB	RO ROUGH OPENING
B.O. BY OWNER	HW HOT WATER	RND ROUND
C CHANNEL	ID INSIDE DIAMETER	SLNT SEALANT
CAB CABINET	INSUL INSULATE (D) / (ION)	SECT SECTION
CB CATCH BASIN	INS. GL. INSULATED GLASS	SS STAINLESS STEEL
CEM CEMENT	INT INTERIOR	SHTG SHEATHING
CG CORNER GUARD	INV INVERT	SHT SHEET
CI CAST IRON	JT JOINT	SV SHEET VINYL
CJ CONTROL JOINT	KOP KNOCK OUT PANEL	SIM SIMILAR
CLG CEILING	LAM LAMINATE (D)	SPEC SPECIFICATIONS
CLR CLEAR	LAV LAVATORY	SQ SQUARE
CO CLEAN OUT	LH LEFT HAND	SB SINK BASE
COL COLUMN	LGHT LENGTH	STD STANDARD
CONC CONCRETE	LT LIGHT	SP STAND PIPE
CONT CONTINUOUS	LTWT LIGHT WEIGHT	STL STEEL
CONTR CONTRACTOR	LF LINEAR FEET	ST STONE
CORR CORRIDOR	LOC LOCATION	SD STORM DRAIN
CPT CARPET	LVR LOUVER	STRUCT STRUCTURAL
CRS COURSE	LPT LOW POINT	SUSP SUSPEND (ED)
CSK COUNTER SUNK	MFR MANUFACTURER	SW SWITCH
CSWK CASEWORK	MATL MATERIAL	SWBD SWITCH BOARD
CT CERAMIC TILE	MAX MAXIMUM	SYMM SYMMETRICAL
DEMO DEMOLISH / DEMOLITION	MECH MECHANICAL	TK BD TACKBOARD
DET DETAIL	MEMB MEMBRANE	TEL TELEPHONE
DIAG DIAGONAL	MTL METAL	TEMP TEMPERATURE
DIA DIAMETER	MIN MINIMUM	THK THICK (NESS)
DIFF DIFFUSER	MISC MISCELLANEOUS	THRES THRESHOLD
DIM DIMENSION	MTD MOUNTED	TOS TOP OF STEEL
DISP DISPENSER	MULL MULLION	TOW TOP OF WALL
DO DOOR	NAT NATURAL	TB TOWEL BAR
DBL DOUBLE	NL NIGHT LIGHT	TYP TYPICAL
DN DOWN	NRC NOISE REDUCTION COEFFICIENT	UNO UNLESS NOTED OTHERWISE
DS DOWNSPOUT	NOM NOMINAL	UR UNIVERSITY REPRESENTATIVE
DWG DRAWING	NTS NOT TO SCALE	UC UNDERCUT
DF DRINKING FOUNTAIN	NO NUMBER	UC UNDER COUNTER
EA EACH	OC ON CENTER	UL UNDERWRITERS LABORATORIES INC.
ELEC ELECTRIC (AL)	OPNG OPENING	UP UPHOLSTERY
ELEC CAB ELECTRIC CABINET	OPP OPPOSITE	VTR VENT THRU ROOF
EP ELECTRIC PANEL	OPH OPPOSITE HAND	VIF VERIFY IN FIELD PRIOR TO FABRICATION
EL ELEVATION	OD OUTSIDE DIAMETER	VERT VERTICAL
ELEV. ELEVATOR	OA OVERALL	VEST VESTIBULE
EQ EQUAL	OH OVERHEAD	VCT VINYL COMPOSITION TILE
E.O. EQUIPMENT BY OWNER	PNT PAINT (ED)	V WASTE
EXH FN EXHAUST FAN	PNL PANEL	WC WATER CLOSET
EXIST EXISTING	PB PANELBOARD	WG WALL COVERING
EJ EXPANSION JOINT	PO PULL OUT	WS WEATHER STRIP
EXP EXPOSED	PVG PAVING	W WEIGHT
EXT EXTERIOR	PLAS PLASTER	W WITH
FCU FAN COIL UNIT	PL PLASTIC LAMINATE	W/O WITHOUT
FIN FINISH (ED)	PLT PLATE	WD WOOD
FIX FIXTURE	PLBG PLUMBING	WDF WOOD FLOOR
FA FIRE ALARM	PLYWD PLYWOOD	WRB WEATHER RESISTANT BARRIER
FEC FIRE EXTINGUISHER CAB.	PT POINT	WP WATERPROOFING
FP FIRE PROOFING		WWF WOVEN WIRE FABRIC
FHMS FLAT HEAD MACH. SCREW		
FREZ FREEZER		

PLOT PLAN



VICINITY MAP



PROJECT SUMMARY

PROJECT TITLE:	12300 WASHINGTON BOULEVARD
PROJECT DESCRIPTION:	- INTERIOR AND EXTERIOR RENOVATION TO AN EXISTING BUILDING & GARAGE - CHANGE OF USE: CONVERT EXISTING OFFICE AND GARAGE INTO RESTAURANT - THE INTERIOR SCOPE OF WORK INCLUDES: CHANGES TO INTERIOR PARTITIONS TO ACCOMMODATE THE NEW LAYOUT AND NEW ACCESSIBLE RESTROOMS. - THE EXTERIOR SCOPE OF WORK INCLUDES: - PROPOSED OUTDOOR DINING AREA WITHIN THE PROPERTY - PROPOSED SHADE STRUCTURE - UPGRADE TO EXISTING FACADE OF THE BUILDINGS - NEW HARDSCAPE PROPOSED - NEW LANDSCAPE PROPOSED - NEW SITE FENCING AND VEHICULAR ACCESS GATE PROPOSED - RECONFIGURE EXISTING PARKING STALLS - THERE IS NO CHANGE TO EXISTING FLOOR AREA AND SETBACKS.
SITE ADDRESS:	12300 WASHINGTON BLVD CULVER CITY, CA 90066
ASSESSOR'S PARCEL NUMBER:	4232011021 & 4232-011-022
REGION / CLUSTER:	25 / 25629
TRA:	CULVER GARDENS
LOT:	180
BLOCK:	-
BUILDING CODE ANALYSIS:	V-B
TYPE OF CONSTRUCTION:	V-B
SPRINKLERS:	NO
EXISTING OCCUPANCY:	B
PROPOSED OCCUPANCY:	A-2
EXISTING USE:	OFFICE
PROPOSED USE:	RESTAURANT
HEIGHT & STORY:	14'-0" ONE STORY (PER SURVEY) PROPOSED HEIGHT: 18'-0"
EXISTING LOT AREA:	12,363 SF
EXISTING GROSS FLOOR AREA:	2,926 SF (2,044 SF + 882 SF)
PROPOSED GROSS FLOOR AREA:	NO CHANGE TO EXISTING GFA
PROPOSED OUTDOOR DINING AREA:	2824 SF = 2165 SF COVERED AREA + 659 OPEN AREA (GROSS AREA INCLUDING BAR AND PLANTERS)
PARKING REQUIREMENTS	
PARKING REQUIRED:	CULVER CITY DOES NOT HAVE ANY REQUIREMENT. CITY OF LOS ANGELES REQUIRES 1 SPACE/200 SQ FT FOR SMALL RESTAURANT (882 SF/200) = 5
PARKING PROVIDED:	12 SPACES (1 ACCESSIBLE STALLS + 2 COMPACT + 9 STANDARD)
EXISTING PARKING:	17
RESTROOM SUMMARY (GROUND FLOOR - INCLUDING OUTDOOR DINING); PER CALIFORNIA PLUMBING CODE TABLE 422.1	
TOTAL OCCUPANCY=	100 / 2 = 50 M & 50 F
TOTAL REQUIRED:	WC M 1 WC F 2 URINALS 1 LAVATORY 2
TOTAL PROVIDED:	WC M 1 WC F 2 URINALS 1 LAVATORY 4
(REFER TO CODE AND EGRESS PLAN ON SHEET A0.10 FOR TOTAL OCCUPANCY CALCULATION.)	

PROJECT DIRECTORY

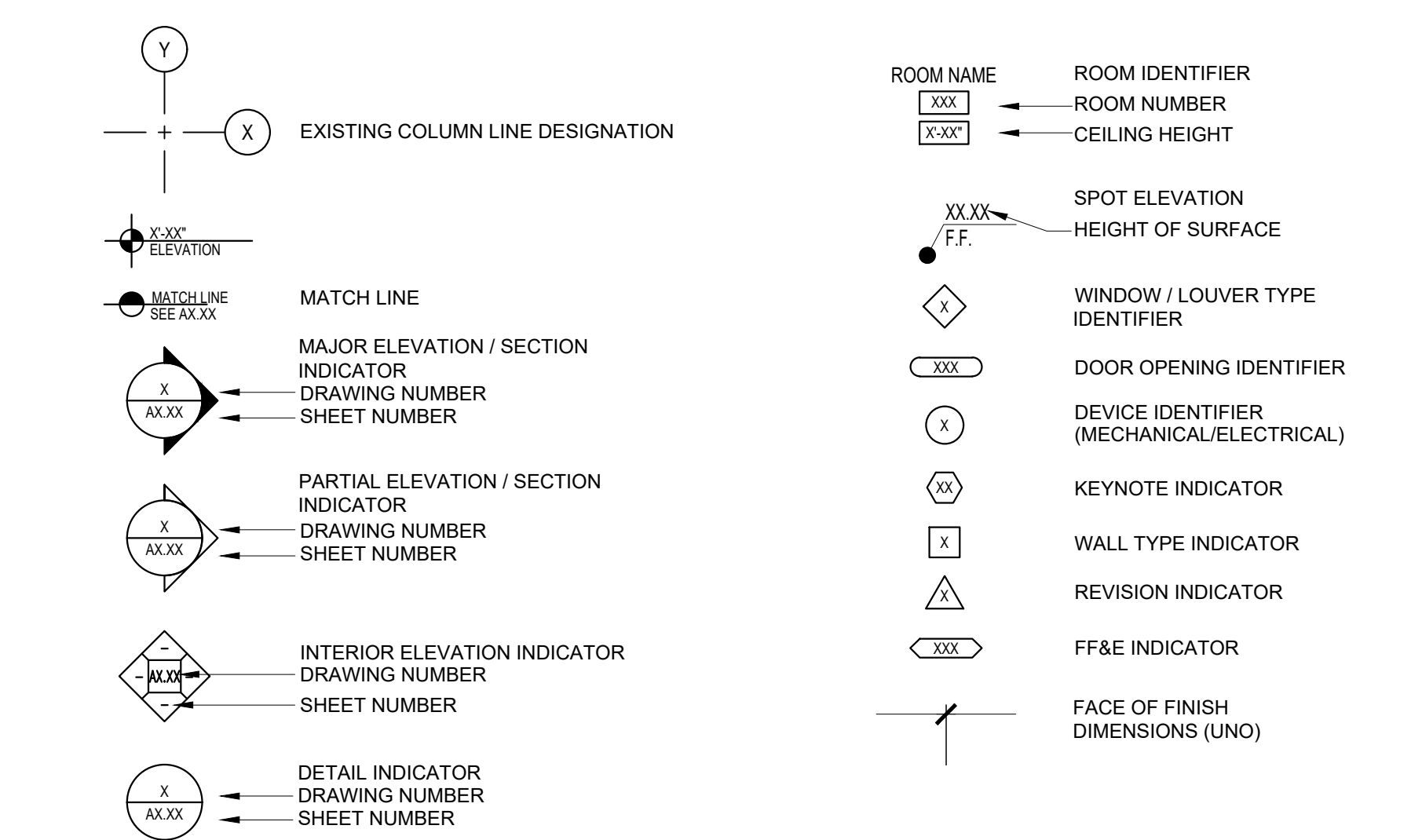
OWNER: WASHINGTON WING, LLC 2200 W. VALLEY BLVD. ALHAMBRA, CA 91803 CONTACT: JOHN TILLEY P: 213-952-1763 E: JTILLEY@JACMARLLC.COM	ARCHITECT: IT-MAKES 110 E 9TH STREET, SUITE C881 LOS ANGELES, CA 90078 CONTACT: THOMAS BRUCE P: 323-559-0886 E: TOM@IT-MAKES.COM
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SHEET INDEX & SUBMITTAL LOG

DATE	DESCRIPTION	STATUS
06-19-2024	PLANNING SUBMITTAL	
08-09-2024	PLANNING RESUBMITTAL	
09-03-2024	PLANNING RESUBMITTAL	

NO.	DESCRIPTION	STATUS
A0.01	PROJECT INFORMATION	
A0.02	PROJECT INFORMATION	
A0.03	GENERAL NOTES	
A0.04	ACCESSIBILITY DETAILS	
A0.05	ACCESSIBILITY DETAILS	
A0.06	ACCESSIBILITY DETAILS	
A0.07	ACCESSIBILITY DETAILS	
A0.08	FOOD SAFETY NOTES	
A0.10	CODE AND EGRESS PLAN	
D1.01	DEMOLITION SITE PLAN	
D2.01	DEMOLITION PLAN	
SECTION FOR EXTERIOR ELEVATIONS		
A1.01	SITE PLAN	
A2.01	PARTITION PLAN-INDOOR	
A2.02	PARTITION PLAN & FURNITURE PLAN-OUTDOOR	
A2.03	LANDSCAPE PLAN	
A2.11	REFLECTED CEILING PLAN	
A2.21	POWER AND COMMUNICATION PLAN	
A3.01	EXTERIOR ELEVATIONS	
A3.11	EXTERIOR RENDERINGS	
A3.12	EXTERIOR RENDERINGS	
A4.01	BUILDING SECTIONS	
A5.01	INTERIOR ELEVATIONS	
A6.01	ENLARGED RESTROOM PLANS & ELEVATIONS	
A7.01	SCHEDULES	
A8.01	DETAILS	

SYMBOLS LEGEND



APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE.
2022 CALIFORNIA ELECTRICAL CODE.
2022 CALIFORNIA PLUMBING CODE.
2022 CALIFORNIA MECHANICAL CODE.
2022 CALIFORNIA ENERGY CODE.
2022 CALIFORNIA FIRE CODE / 2023 LA COUNTY FIRE CODE
2022 CALIFORNIA EXISTING BUILDING CODE
CALIFORNIA HEALTH AND SAFETY CODE
CITY OF CULVER CITY MUNICIPAL CODE (CMC)
CITY OF LOS ANGELES MUNICIPAL CODE

NOTES

BUILDING SAFETY NOTES:

BUILDING PERMITS ARE REQUIRED AFTER THE APPROVAL OF THE AUP. THE APPLICANT IS REQUIRED TO SUBMIT A BUILDING PERMIT APPLICATION ALONG WITH FOUR SETS OF PLANS TO THE BUILDING SAFETY DIVISION ON THE 2ND FLOOR OF CULVER CITY HALL (9770 CULVER BLVD, CULVER CITY, CA 90232). SEPARATE PERMITS ARE MANDATORY FOR MECHANICAL, ELECTRICAL, AND/OR PLUMBING (MEP) WORK.

- CROSS-JURISDICTIONAL COORDINATION BETWEEN LOS ANGELES AND CULVER CITY FOR BUILDING PERMIT ISSUANCE.
- LA COUNTY HEALTH DEPARTMENT APPROVAL NEEDED PRIOR TO PERMIT ISSUANCE FOR:
 - INDUSTRIAL WASTE DISPOSAL
 - PLUMBING FOG (FATS, OILS, AND GREASE) PROTECTION (E.G., GREASE INTERCEPTOR)

ENVIRONMENTAL PROGRAMS AND OPERATIONS NOTES:

A. SOLID WASTE, RECYCLABLE WASTE MATERIAL, AND ORGANIC WASTE HANDLING SHALL BE PERFORMED EXCLUSIVELY BY THE CITY OR ITS AUTHORIZED AGENTS. THE CITY COUNCIL MAY REGULATE, BY ORDINANCE OR RESOLUTION, ALL ASPECTS OF SOLID WASTE, RECYCLABLE WASTE MATERIAL, AND ORGANIC WASTE HANDLING, INCLUDING, BUT NOT LIMITED TO, FREQUENCY OF COLLECTION, MEANS OF COLLECTION AND TRANSPORTATION, LEVEL OF SERVICES, CHARGES, FEES, AND NATURE, LOCATION AND EXTENT OF PROVIDING SOLID WASTE HANDLING SERVICES.

B. THE CITY OF CULVER CITY SHALL PROVIDE WASTE DISPOSAL AND RECYCLING SERVICES FOR ALL CONSTRUCTION & DEMOLITION PROJECTS WITHIN CITY LIMITS IN ACCORDANCE WITH CCMC 5.01.010.



CONSULTANT

12300 WASHINGTON BLVD
LOS ANGELES, CA 90066

ISSUE:	DATE
AUP - SUBMITTAL	06-19-24
AUP - RESUBMITTAL	08-12-24
AUP - RESUBMITTAL #2	09-03-24

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PROJECT NO. 24-08

SHEET NUMBER:

A0.01

SHEET NAME:

PROJECT INFORMATION

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PHOTOGRAPH - G
SCALE: N.T.S.

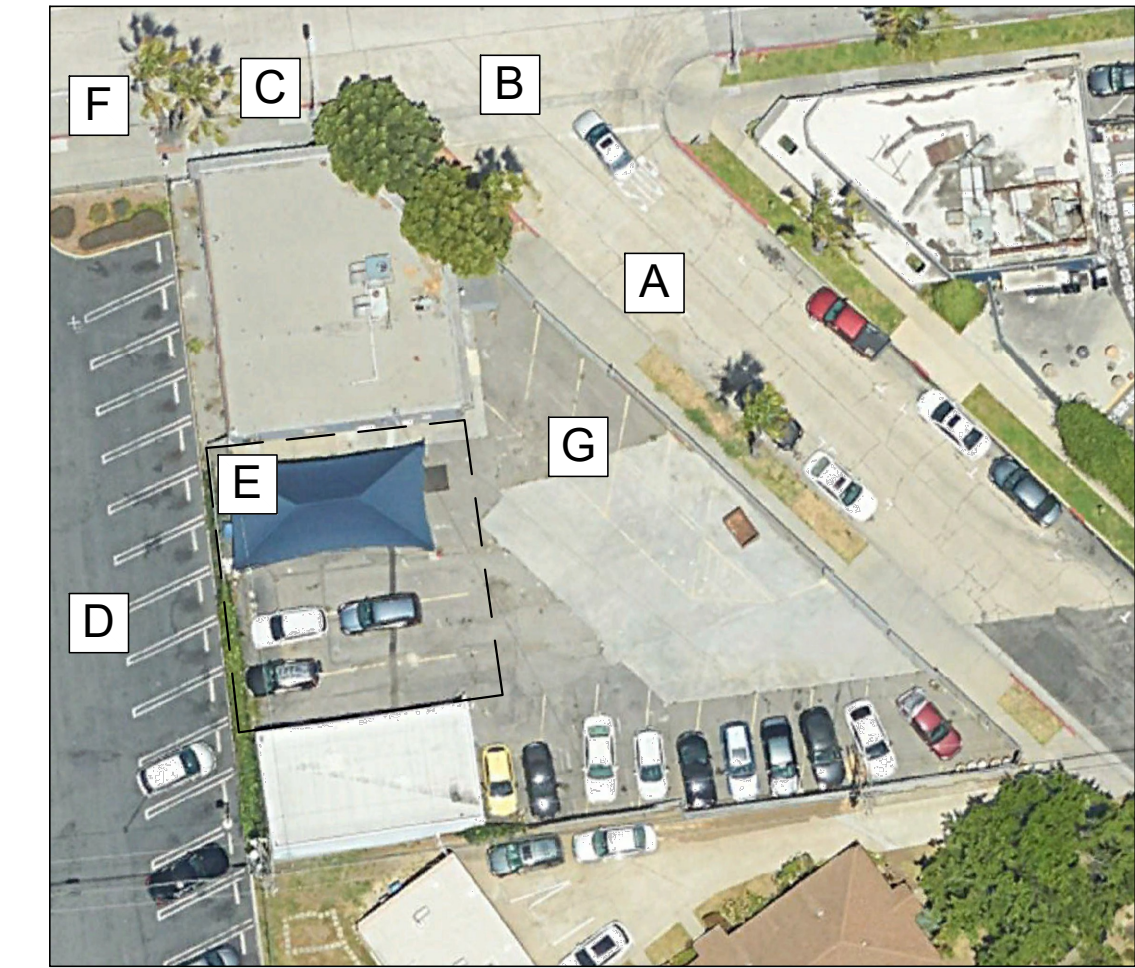


PHOTO INDEX MAP
SCALE: N.T.S.



PHOTOGRAPH - F
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PHOTOGRAPH - C
SCALE: N.T.S.



PHOTOGRAPH - E
SCALE: N.T.S.



PHOTOGRAPH - B
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PHOTOGRAPH - D
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PHOTOGRAPH - A
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PROJECT NO. 24-08

SHEET NUMBER:

A0.02

SHEET NAME:

PROJECT INFORMATION

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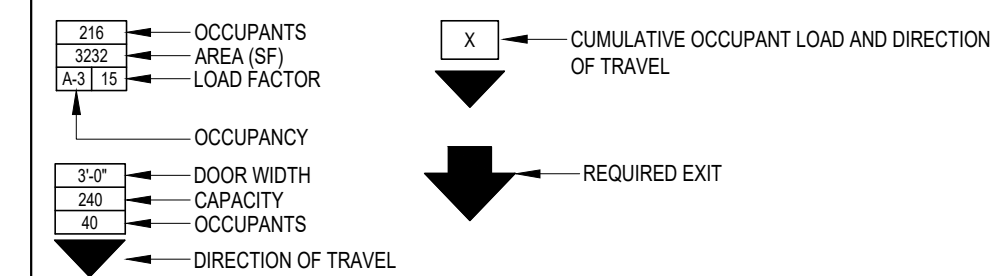
SHEET NUMBER:

A0.10

SHEET NAME:
PROPOSED EGRESS PLAN

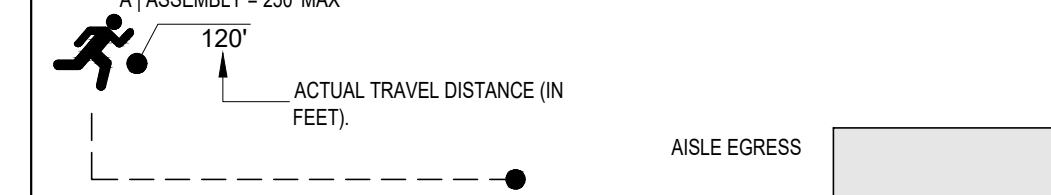
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LEGEND & REFERENCE - CODE & EGRESS



EGRESS CAPACITY LOAD FACTOR:
 STAIRS = 3 (2 @ FULLY SPRINKLERED)
 OTHER/DOORS = 2 (15 @ FULLY SPRINKLERED)

MAXIMUM TRAVEL DISTANCE TO EXITS (TABLE 1017.2) SPRINKLERED BUILDING
 A | BUSINESS = 300' MAX
 B | ASSEMBLY = 250' MAX



COMMON PATH OF TRAVEL
 A = 500' MAX
 B = 100' MAX

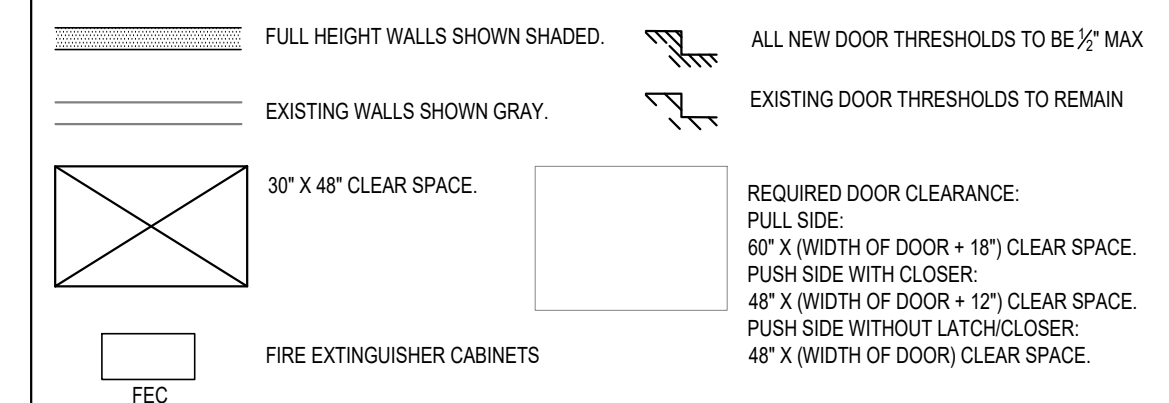
WALL OR CEILING MOUNTED EXIT SIGN W/ BATTERY BACKUP. SHADED QUADRANT INDICATES FACE OF LETTERING. SIGN TO INCLUDE DIRECTIONAL ARROWS AS INDICATED. SIGNS TO BE CLEAR W/ SELF ILLUMINATED GREEN LETTERING WITH RECESSED HOUSING UNO (E) INDICATED EXISTING EXIT SIGN TO REMAIN.

NOTE: ADDITIONAL EXIT SIGNS MAY BE REQ'D PRIOR TO FINAL INSPECTION AND IS SUBJECT TO FM OR BUILDING INSPECTOR.

KEYNOTES

1.

LEGEND



ACCESSIBLE NOTES

- ACCESSIBLE SEAT NOTES:
- 5% OF TOTAL SEAT COUNT TO BE MADE ACCESSIBLE.
 - PROVIDE A MINIMUM 30"x48" CLEAR FLOOR SPACES AS ACCESSIBLE SEAT.
 - PROVIDE ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR FLOOR SPACE TO ADJOIN OR OVERLAP AN ACCESSIBLE ROUT OR ANOTHER WHEELCHAIR CLEAR FLOOR SPACE.
 - TABLE HEIGHT TO BE MIN 28" TO 34" MAX.
 - ACCESS TO ACCESSIBLE SEATING SPACES IS PROVIDED BY MAIN AISLES A MINIMUM OF 36" WIDE.

- ACCESSIBLE COUNTER NOTES:
- TOP OF COUNTER HEIGHT TO BE 34"
 - PROVIDE KNEE CLEARANCE 27" MINIMUM, 30" WIDE MINIMUM, AND 19" DEEP MINIMUM.
 - PROVIDE FLOOR CLEAR SPACE AT ACCESSIBLE BAR SEATS OF 30"x48".
 - ACCESS TO ACCESSIBLE COUNTER SEATING SPACES ADJOINS AN ACCESSIBLE FOOD SERVICE ROUTE.

SEAT COUNTS/ TABLE COUNTS

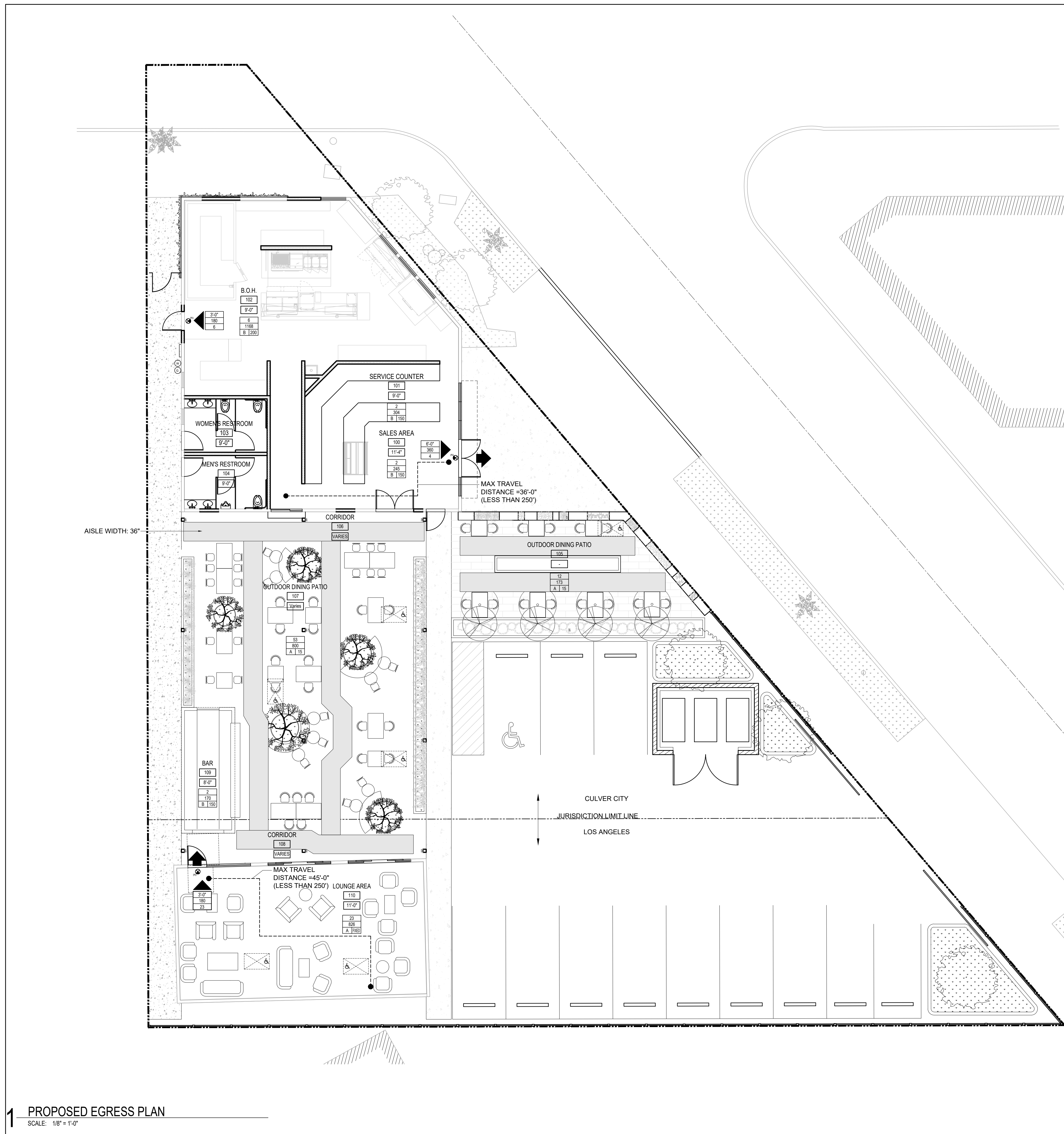
PROPOSED SEATING & TABLES:
 INDOOR DINING - 23 LOUNGE SEATS (2 ACCESSIBLE)
 OUTDOOR DINING IN PRIVATE PROPERTY - (44 + 12) CHAIRS, 9 BOOTH SEATS, (24 + 7) TABLES (4 ACCESSIBLE)
 TOTAL SEATS = 98
 TOTAL ACCESSIBLE SEATS (5%) = 5 SEATS REQUIRED, 6 SEATS PROVIDED

GENERAL NOTES

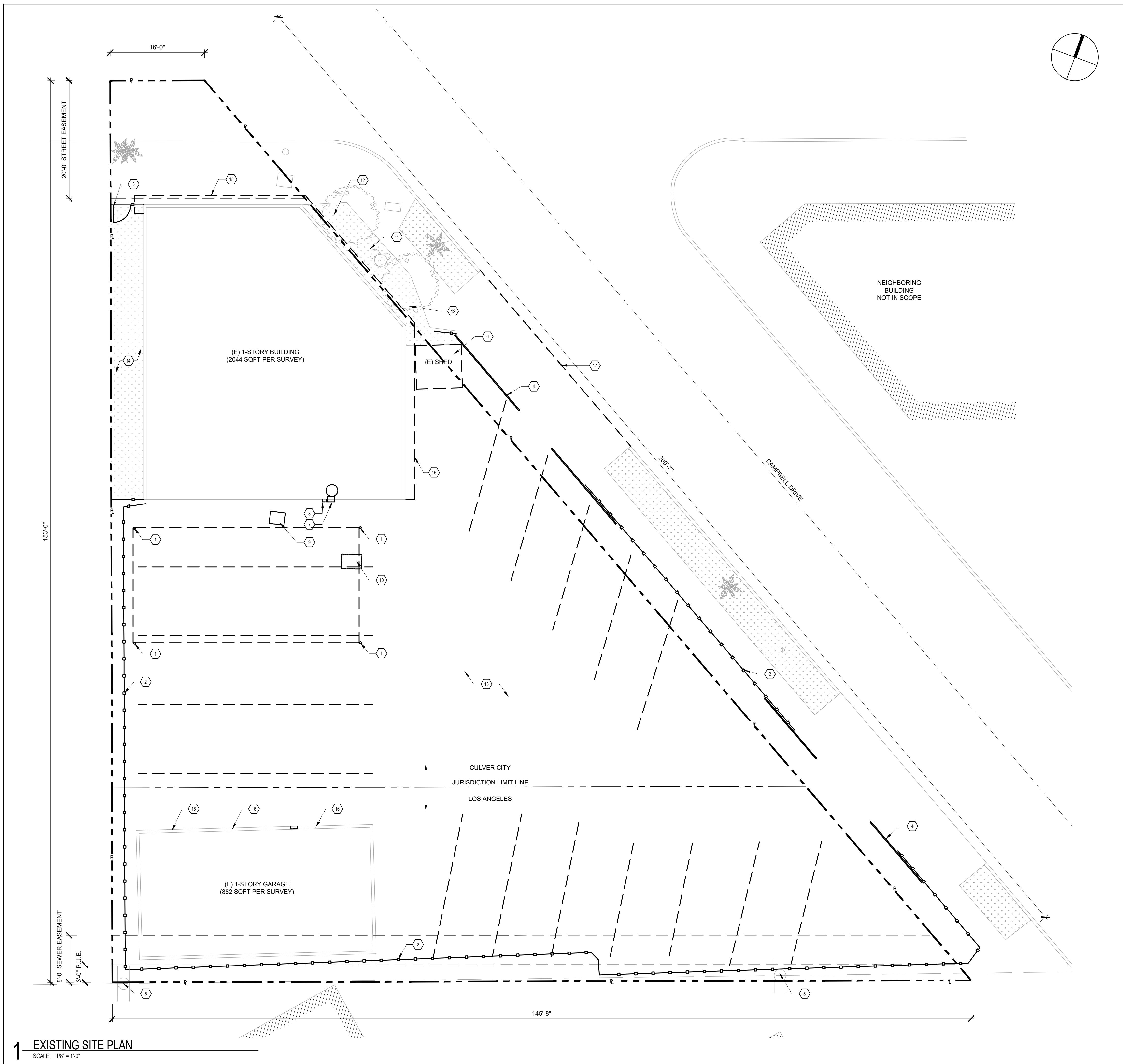
- REFER TO SHEET AX-XX FOR BASE REQUIREMENTS AT FOOD PREPARATION AREAS.
- REFER TO SHEET AX-XX FOR FINISH SCHEDULE.
- ALL EXIT DOORS SHALL COMPLY WITH SECTION 1010.1.
 A. CLEAR WIDTH OF EACH DOOR OPENING SHALL BE MIN. 32" OR PER SEC.
 1005.3.2, WHICHEVER IS GREATER.
 B. MIN. DOOR HEIGHT OF 6 FT-8 INCH.
 C. SHALL BE CAPABLE OF OPENING 90 DEGREES.
 D. THE MAXIMUM WIDTH OF A SWINGING DOOR LEAF SHALL BE 48" NOMINAL.
 E. EXIT DOOR SHALL BE SIDE-HINGED SWINGING TYPE.

OCCUPANT LOAD SUMMARY

ROOM #	ROOM NAME	FUNCTION OF SPACE	AREA (SF)	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
100	SALES AREA	BUSINESS	245 (GROSS)	150	2
101	SERVICE COUNTER	BUSINESS	304 (GROSS)	150	2
102	B.O.H.	KITCHEN	1168 (GROSS)	200	6
103	WOMEN'S RESTROOM	-	-	-	-
104	MEN'S RESTROOM	-	-	-	-
105	OUTDOOR DINING PATIO	ASSEMBLY	173 (NET)	15	12
106	CORRIDOR	-	-	-	-
107	OUTDOOR DINING PATIO	ASSEMBLY	800 (NET)	15	53
108	CORRIDOR	-	-	-	-
109	BAR	BUSINESS	170 (GROSS)	150	2
110	LOUNGE AREA	ASSEMBLY	FIXED SEATS	-	23
TOTAL BUILDING OCCUPANT LOAD =					100



1 PROPOSED EGRESS PLAN
 SCALE: 1/8" = 1'-0"



LEGEND AND SYMBOL

- ITEMS TO BE REMOVED SHOWN DASHED UNO.
- EXISTING WALLS SHOWN GRAY

GENERAL DEMOLITION NOTES

1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
5. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS AS REQUIRED BY THE PROPOSED WORK.

KEYNOTES

- 1 REMOVE (E) SHADE STRUCTURE POSTS AND CANOPY ABOVE
- 2 REMOVE (E) FENCE
- 3 PEDESTRIAN GATE TO BE RELOCATED PER PROPOSED DESIGN.
- 4 REMOVE (E) VEHICLE ACCESS GATE
- 5 (E) POWER POLE
- 6 REMOVE (E) SHED STRUCTURE
- 7 (E) MAIN ELECTRICAL PANEL TO BE RELOCATED
- 8 (E) ELECTRIC METER TO BE RELOCATED
- 9 (E) UTILITY VAULT TO BE RELOCATED
- 10 (E) GRATED INLET TO BE RELOCATED
- 11 (E) LANDSCAPE PLANTER IN PUBLIC RIGHT OF WAY TO REMAIN.
- 12 (E) STREET TREE TO REMAIN.
- 13 (E) PARKING LOT TO BE RE-STRIPE PER PROPOSED SITE PLAN
- 14 (E) LANDSCAPE AREA TO BE REPLACED WITH HARDSCAPE PER PROPOSED SITE PLAN
- 15 REMOVE (E) ROOF OVERHANG
- 16 REMOVE (E) GARAGE DOORS AND PLACE NEW GLASS DOORS PER PROPOSED PLANS
- 17 EXISTING DRIVEWAY IS NO LONGER IN USE. DRIVEWAY TO BE REVERTED TO CURB AND GUTTER.

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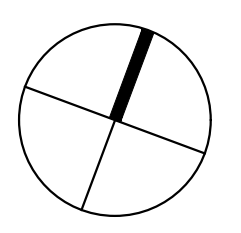
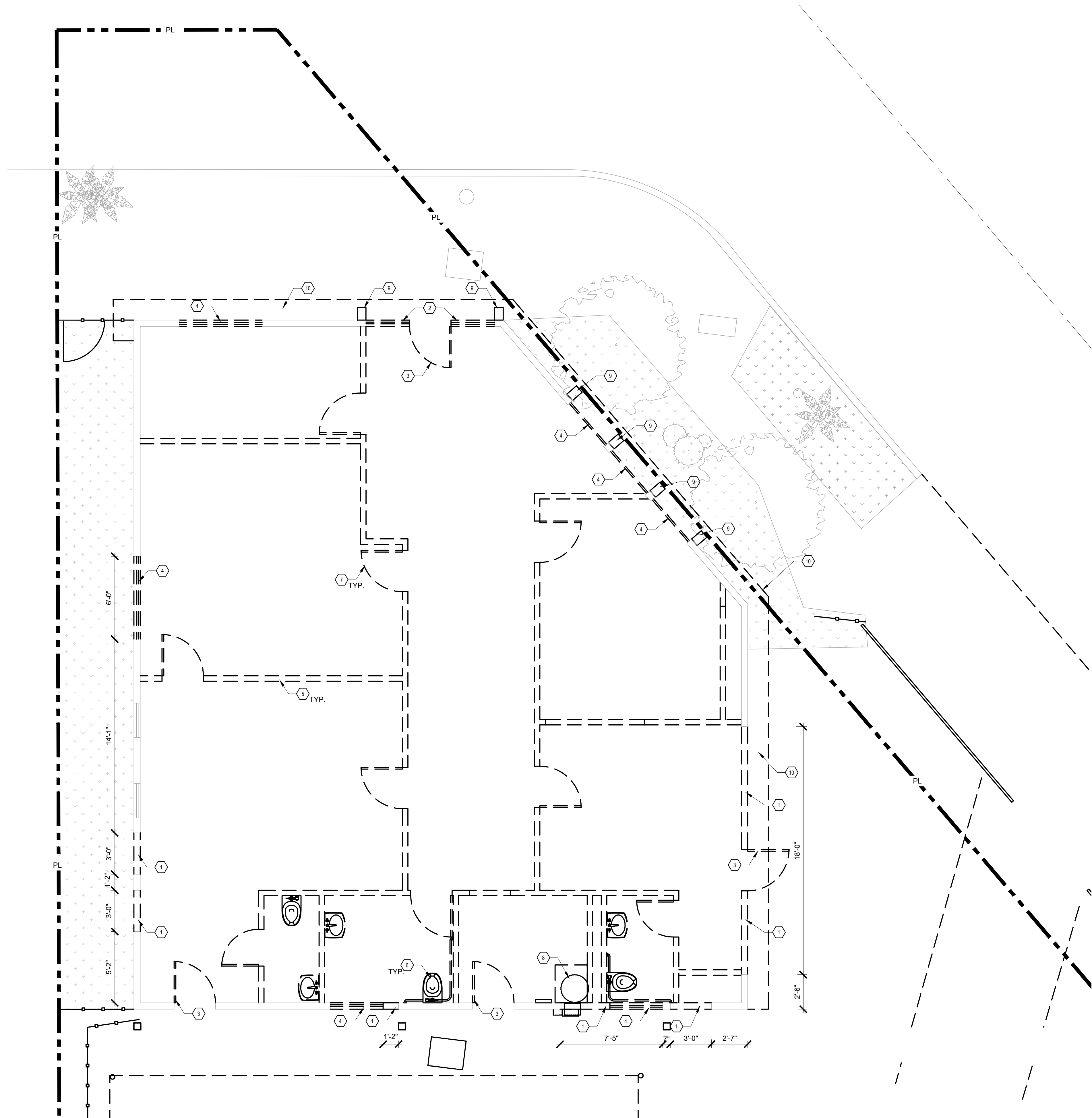
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PROJECT NO. 24-08

SHEET NUMBER:

D1.01

SHEET NAME:
DEMOLITION SITE PLAN



LEGEND AND SYMBOL

- ITEMS TO BE REMOVED SHOWN DASHED UNO.
- EXISTING WALLS SHOWN GRAY

GENERAL DEMOLITION NOTES

1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
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5. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS AS REQUIRED BY THE PROPOSED WORK.

KEYNOTES

- 1 REMOVE PORTION OF (E) EXTERIOR WALL.
- 2 REMOVE (E) STOREFRONT.
- 3 REMOVE (E) EXTERIOR DOOR.
- 4 REMOVE (E) EXTERIOR WINDOWS.
- 5 REMOVE (E) INTERIOR WALLS.
- 6 REMOVE (E) PLUMBING FIXTURES.
- 7 REMOVE (E) INTERIOR DOORS.
- 8 RELOCATE (E) WATER HEATER PER PROPOSED PLANS.
- 9 REMOVE (E) EXTERIOR DECORATIVE ELEMENTS; PREPARE FACADE TO RECEIVE NEW FINISH MATERIAL.
- 10 REMOVE (E) ROOF CANOPY.

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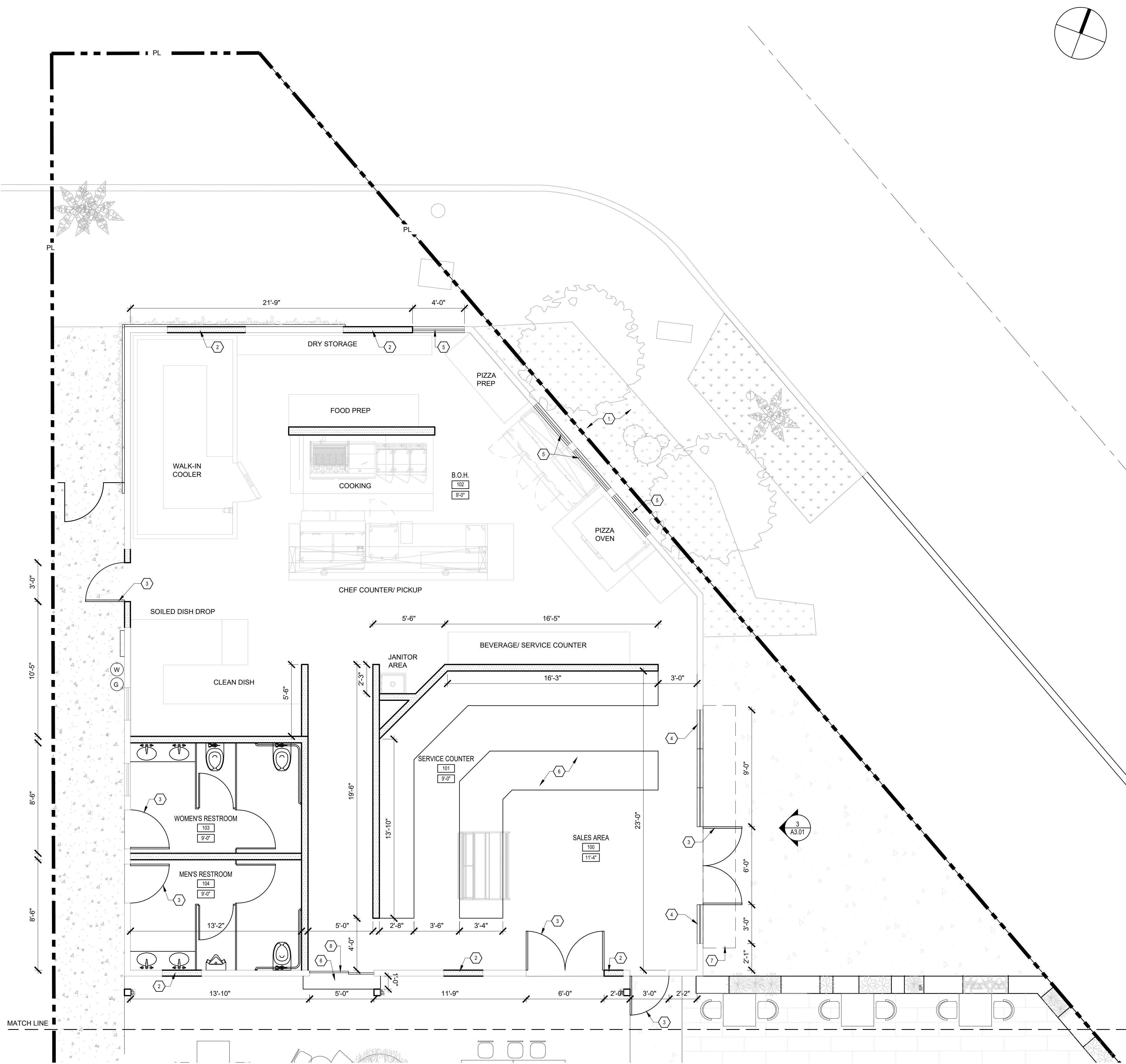
D2.01

SHEET NAME:

DEMOLITION PLAN

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1 DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"



LEGEND AND SYMBOL

- NEW HIGH WALL (CMU) - REFER TO STRUCTURAL.
- EXISTING WALLS SHOWN GRAY.
- EXISTING DOORS SHOWN @ 45° & GRAY.
- 48"x30" ADA ACCESSIBLE CLEAR FLOOR SPACE.
- XX - ROOM NAME
- XXX - ROOM NUMBER
- X'X" - CEILING HEIGHT

KEYNOTES

- 1 PLANTER, SEE SITE PLAN.
- 2 FILL IN (E) OPENINGS IN WALL.
- 3 NEW EXTERIOR DOOR.
- 4 NEW STOREFRONT.
- 5 NEW FIXED WINDOWS.
- 6 NEW SERVICE COUNTER.
- 7 STEEL CANOPY ABOVE.
- 8 NEW OPERABLE WINDOW.
- 9 BUILT-IN FIRE PIT.
- 10 SHIPPING CONTAINER TO BE REFURBISHED AND GET PREPARED TO BE USED FOR BAR AREA.
- 11 BUILT-IN PLANTER.

FINISH NOTES

1. SEE SHEET AX.XX FOR FINISH SCHEDULES.
2. ALL EXPOSED STONE AND TILE EDGES TO BE FACTORY FINISHED TO MATCH SURFACE FINISH.

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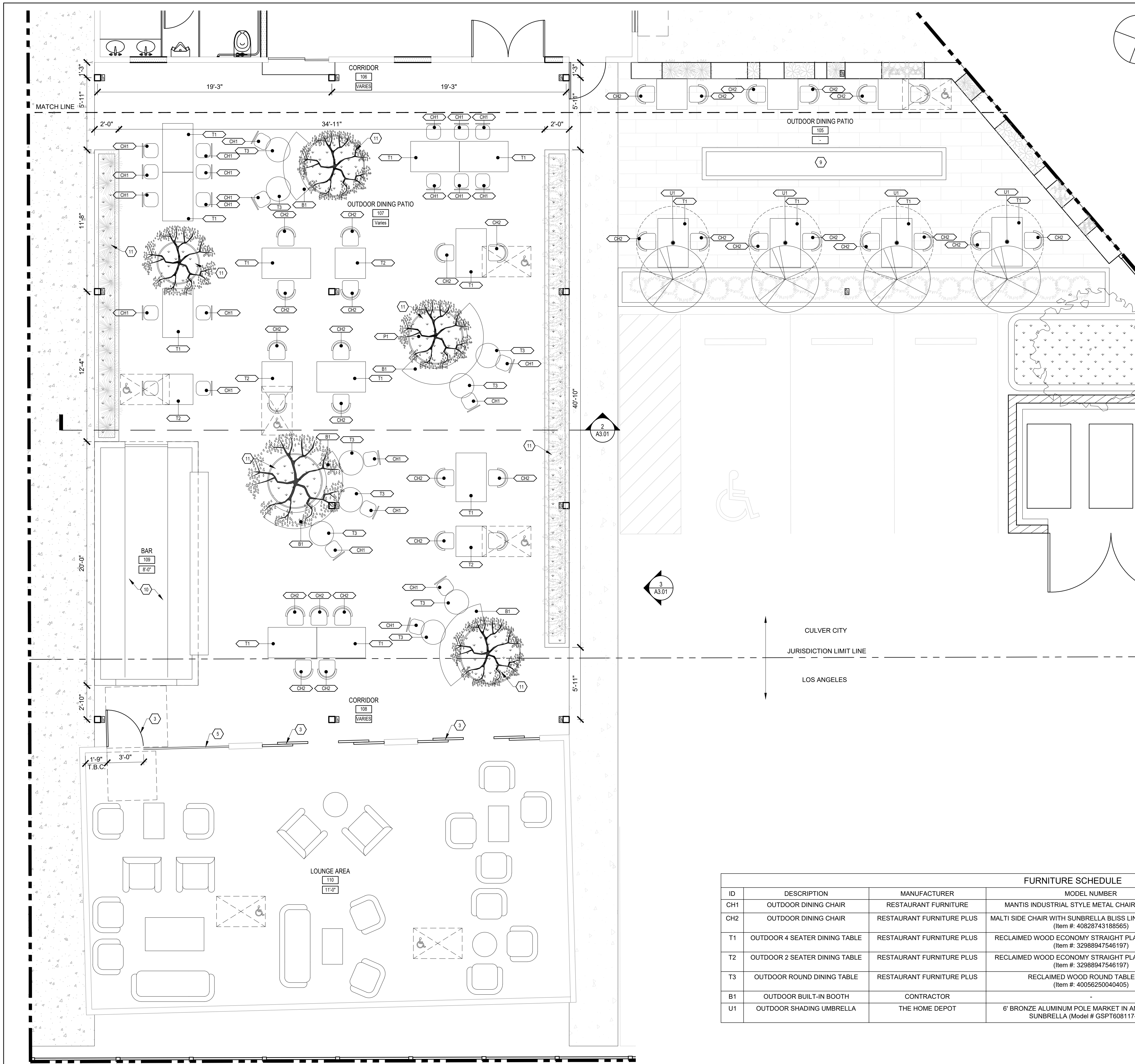
PROJECT NO. 24-08

SHEET NUMBER:

A2.01

SHEET NAME:
PROPOSED PARTITION PLAN (INDOOR)

1 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



LEGEND AND SYMBOL

- NEW HIGH WALL (CMU) - REFER TO STRUCTURAL.
- EXISTING WALLS SHOWN GRAY.
- EXISTING DOORS SHOWN @ 45° & GRAY.
- 48"x30" ADA ACCESSIBLE CLEAR FLOOR SPACE.
- XX - ROOM NAME
- XXX - ROOM NUMBER
- X'-X" - CEILING HEIGHT

KEYNOTES

- 1 PLANTER, SEE SITE PLAN.
- 2 FILL IN (E) OPENINGS IN WALL.
- 3 NEW EXTERIOR DOOR.
- 4 NEW STOREFRONT.
- 5 NEW FIXED WINDOWS.
- 6 NEW SERVICE COUNTER.
- 7 STEEL CANOPY ABOVE.
- 8 NEW OPERABLE WINDOW.
- 9 BUILT-IN FIRE PIT.
- 10 SHIPPING CONTAINER TO BE REFURBISHED AND GET PREPARED TO BE USED FOR BAR AREA.
- 11 BUILT-IN PLANTER.

FINISH NOTES

1. SEE SHEET AX.XX FOR FINISH SCHEDULES.
2. ALL EXPOSED STONE AND TILE EDGES TO BE FACTORY FINISHED TO MATCH SURFACE FINISH.

CONSULTANT

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PROJECT NO. 24-08

SHEET NUMBER:

A2.02

SHEET NAME:
**PROPOSED
 PARTITION & FURNITURE
 PLAN (OUTDOOR)**
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FURNITURE SCHEDULE

ID	DESCRIPTION	MANUFACTURER	MODEL NUMBER	FINISH	SIZE
CH1	OUTDOOR DINING CHAIR	RESTAURANT FURNITURE	MANTIS INDUSTRIAL STYLE METAL CHAIR (RFC-725-BL)	WOOD SEAT WITH BLACK FRAME	14" W X 17 1/2" D X 32" H
CH2	OUTDOOR DINING CHAIR	RESTAURANT FURNITURE PLUS	MULTI SIDE CHAIR WITH SUNBRELLA BLISS LINEN CUSHION SET (Item #: 40828743188565)	STEEL FRAME	23.5" X21.25" X30.25"
T1	OUTDOOR 4 SEATER DINING TABLE	RESTAURANT FURNITURE PLUS	RECLAIMED WOOD ECONOMY STRAIGHT PLANK TABLE TOPS (Item #: 32988947546197)	RECLAIMED WOOD	30" X48"
T2	OUTDOOR 2 SEATER DINING TABLE	RESTAURANT FURNITURE PLUS	RECLAIMED WOOD ECONOMY STRAIGHT PLANK TABLE TOPS (Item #: 32988947546197)	RECLAIMED WOOD	30" X30"
T3	OUTDOOR ROUND DINING TABLE	RESTAURANT FURNITURE PLUS	RECLAIMED WOOD ROUND TABLE TOPS (Item #: 40056250040405)	RECLAIMED WOOD	24" ROUND
B1	OUTDOOR BUILT-IN BOOTH	CONTRACTOR	-	TO MATCH WOODEN SEATS	VARIES
U1	OUTDOOR SHADING UMBRELLA	THE HOME DEPOT	6" BRONZE ALUMINUM POLE MARKET IN ANTIQUE BEIGE SUNBRELLA (Model # GSPT608117-5422)	SUNBRELLA FABRIC	72" W X 102" H

1 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PLANT LEGEND					
ID	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
PL1		OLEA EUROPAEA	OLIVE TREE	HEIGHT: 10 FEET SPREAD: 10 FEET	3
PL2		OLEA EUROPAEA 'LITTLE OLLIE'	DWARF OLIVE TREE	HEIGHT: 3-4 FEET SPREAD: 3-4 FEET	5
PL3		CITRUS LIMON 'IMPROVED MEYER'	DWARF LEMON TREE	HEIGHT: 4-6 FEET SPREAD: 3-4 FEET	4
PL4		LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	DEPENDS ON THE PRUNING	~80 SQ FEET
PL5		JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	HEIGHT: 10 FEET SPREAD: 2-3 FEET	~48 SQ FEET
PL6		HEDERA HELIX	ENGLISH IVY	DEPENDS ON PRUNING	~160 SQ FEET
PL7		ALOE BLUE ELF	BLUE ELF ALOE	HEIGHT: 12-18 INCH SPREAD: 18-24 INCH	~10 SQ FEET
PL8		GRAPTOPETALUM PARAGUAYENSE	GHOST PLANT	HEIGHT: 6-12 INCH SPREAD: 12-24 INCH	~10 SQ FEET
PL9		AGAVE BLUE GLOW	BLUE GLOW AGAVE	HEIGHT: 12-24 INCH SPREAD: 24-36 INCH	~10 SQ FEET
PL10		LIRIOPE MUSCARI	LILY TURF	HEIGHT: 9-18 INCH SPREAD: 12-24 INCH	~120 SQ FEET



PL1



PL2



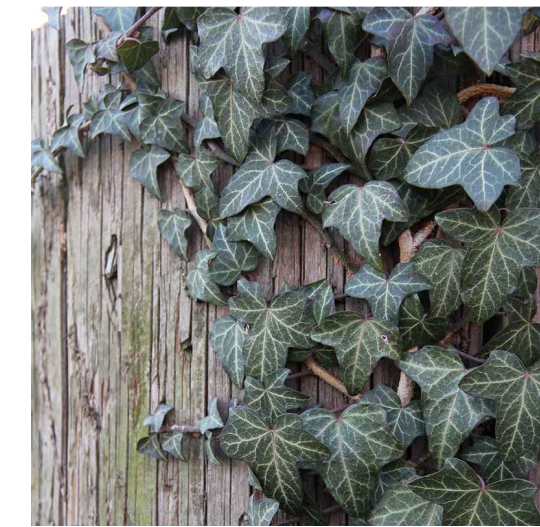
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PL4



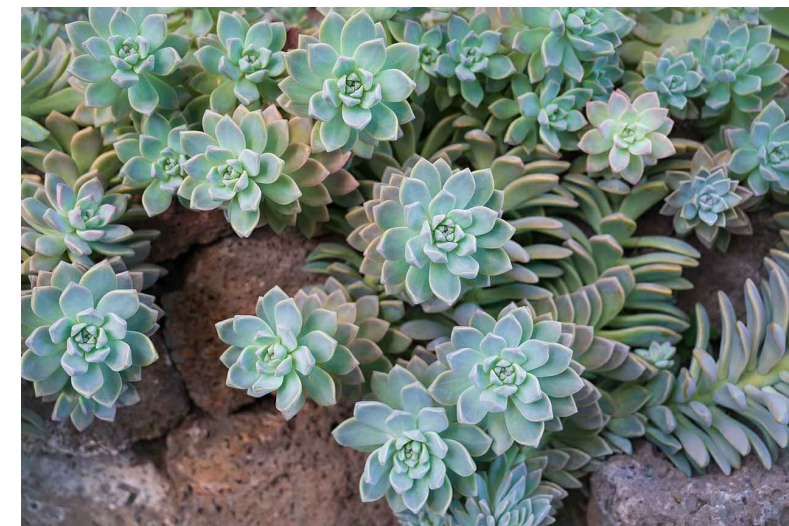
PL5



PL6



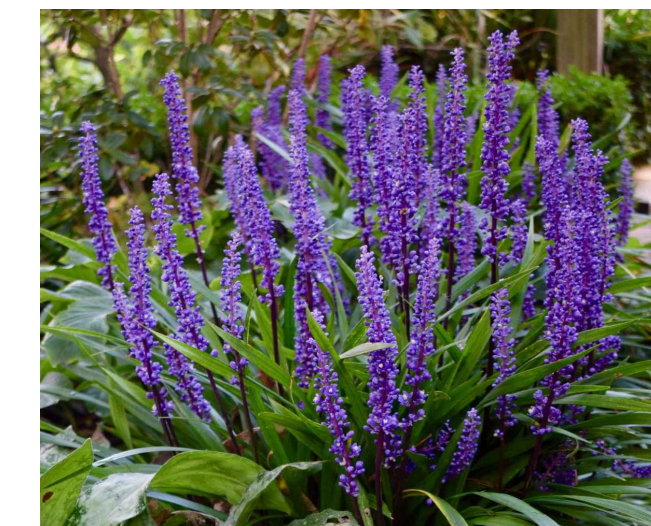
PL7



PL8



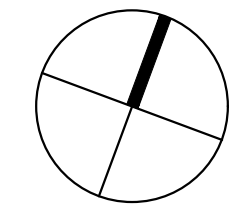
PL9



PL10



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PROJECT NO. 24-08

SHEET NUMBER:
A2.03

SHEET NAME:
 LANDSCAPE PLAN

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AUP - RESUBMITTAL #2	09-03-24

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PROJECT NO. 24-08

SHEET NUMBER:

A2.11

SHEET NAME:

REFLECTED CEILING PLAN
 (OUTDOOR)

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LEGEND AND SYMBOL

- 1-HOUR FULL HEIGHT PARTITION, (3 5/8" FRAMING UNO) - PARTITION TYPE 2 UNO.
- 2-HOUR FULL HEIGHT PARTITION, (2 1/2" FRAMING UNO) - PARTITION TYPE 3 UNO.
- EXISTING WALLS SHOWN GRAY.
- 24"x48" AIR SUPPLY (E) SHOWN GRAY.
- 24"x24" RETURN/EXHAUST.
- CEILING DEMOLITION SCOPE.
- WALL OR CEILING MOUNTED EXIT SIGN W/ BATTERY BACKUP. SHADED QUADRANT INDICATES FACE OF LETTERING. SIGN TO INCLUDE DIRECTIONAL ARROWS AS INDICATED. SIGNS TO BE CLEAR W/ SELF ILLUMINATED GREEN LETTERING WITH RECESSED HOUSING UNO (N) INDICATED NEW EXIT SIGN.
- CEILING MOUNTED SPEAKER. PROVIDE DUPLEX OUTLET.
- CEILING MOUNTED JUNCTION BOX.
- WALL MOUNTED TELEVISION/ DISPLAY MONITOR. PROVIDE RECESSED BOX WITH DUPLEX OUTLET AND DATA.

GENERAL NOTES

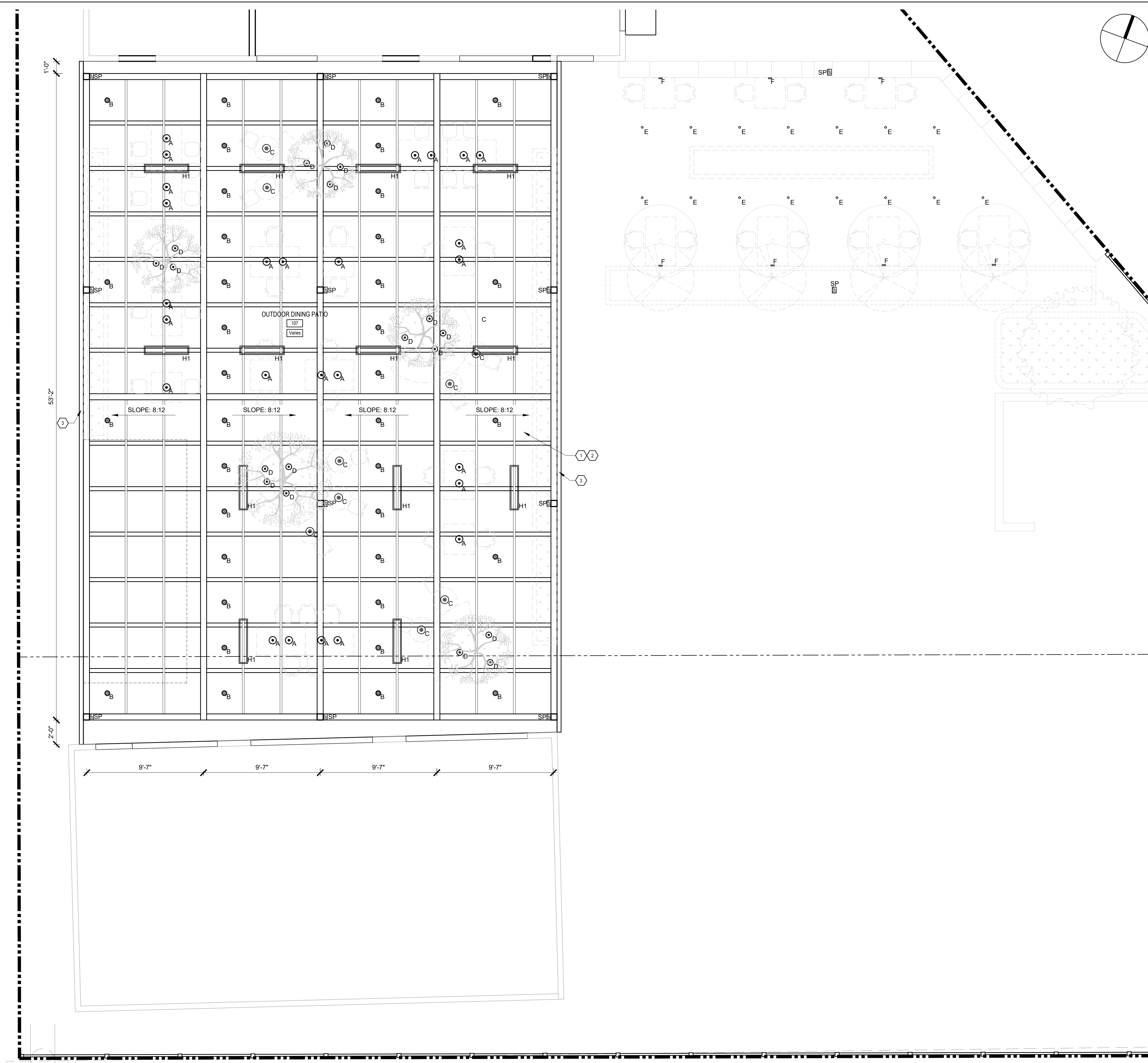
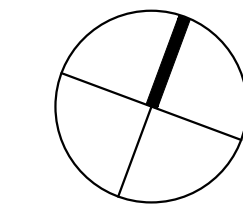
1. RELOCATE SPRINKLER HEADS AS REQUIRED TO ACCOMMODATE NEW CEILING LAYOUT.
2. REFER TO ELECTRICAL, MECHANICAL, FIRE ALARM, FIRE SPRINKLER AND LOW VOLTAGE DRAWINGS, ETC. FOR LOCATIONS AND TYPES OF ITEMS NOT SHOWN. SUBMIT COORDINATION SHOP DRAWINGS TO ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
3. REFER TO FLOOR PLANS FOR OVERALL BUILDING DIMENSIONS.
4. ALL CEILING HEIGHTS INDICATED ARE FROM TOP OF FINISHED FLOOR TO BOTTOM OF FINISHED CEILING UNO.
5. CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY CODE. LOCATE ACCESS PANELS AS INDICATED ON DRAWINGS OR BY CODE. IF NOT SHOWN, ACCESS PANELS SHALL MEET ALL FIRE, SMOKE, AND SOUND REQUIREMENTS OF THE ASSEMBLY IN WHICH THEY ARE LOCATED. SUBMIT PROPOSED LOCATIONS TO THE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION OR ORDERING OF MATERIALS.
6. ALL CEILING ELEMENTS SHALL BE PLACED IN THE CENTER OF CEILING TILE OR CENTER OR GYPSUM BOARD CEILING AREA UNO.
7. ALL CEILING GRIDS TO BE CENTERED BETWEEN WALLS UNO. NO PANEL SHALL BE LESS THAN 4" WIDE.
8. CEILING ELEVATIONS NOT SHOWN SHALL BE TO THE LOWER SURFACE OF THE FLOOR/CEILING OR ROOF/ CEILING ASSEMBLY.
9. AT ALL EXPOSED CEILING CONDITIONS COORDINATE ALL WIRING, CONDUIT, DUCTS, ETC. FOR AN ORGANIZED FINISHED APPEARANCE.
10. SEE INTERIOR ELEVATIONS/SECTIONS/DETAILS FOR ADDITIONAL INFORMATION ON FINISHED SOFFIT, BULKHEAD, CEILING, ETC. WHERE NOT INDICATED ON REFLECTED CEILING PLAN.
11. PAINT ALL STRUCTURE, CONDUIT, PIPE, DUCTWORK, ETC. EXPOSED TO VIEW UNO.
12. COORDINATE WITH ALL TRADES INVOLVED AND COMPARE COMPOSITE SHOP DRAWINGS TO ENSURE CLEARANCE FOR LIGHT FIXTURES, DUCTS, CEILING, CABLING, ETC. NECESSARY TO MAINTAIN THE SPECIFIED FINISHED CEILING HEIGHT AFF AS INDICATED. NOTIFY ARCHITECT OF CONFLICTS FOR RESOLUTION.

LIGHTING SCHEDULE

A		ITEM: DECORATIVE PENDANT MANUF: BASELITE MODEL: S2H10 SIZE: 7.5" X 4.5"
B		ITEM: DECORATIVE PENDANT MANUF: BASELITE MODEL: S3.WG6 SIZE: 5" X 14"
C		ITEM: DECORATIVE PENDANT MANUF: BASELITE MODEL: GC88 SIZE: 8" X 10.625"
D		ITEM: DECORATIVE PENDANT MANUF: BASELITE MODEL: S2GS6 SIZE: 6" X 6.5"
E		ITEM: FLOOR BUILT-IN MANUF: OLEV MODEL: MINI DOT GLASS UP LIGHT SIZE: 1.77"
F		ITEM: DECORATIVE PENDANT MANUF: TWICE BRIGHT MODEL: SW SERIES-LED STEP/WALL LIGHT SIZE: 5.3" X 3.3"
H1		ITEM: HEATER MANUF: BROMIC HEATING MODEL: 2000 SERIES SIZE: 44" X 8.5"
SP		ITEM: OUTDOOR SPEAKER MANUF: TBD MODEL: TBD SIZE: TBD

KEYNOTES

1. STEEL STRUCTURE WITH CLEAR POLYCARBONATE ROOF SHEETING.
2. RETRACTABLE AWNING, TO BE INSTALLED ON TOP OF STRUCTURE. MANUFACTURER: SUNAIR AWNING. PRODUCT NAME: SOLHARO
3. DRAIN GUTTER ATTACHED TO STRUCTURE TO FURTHER DETAILS.



1 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

MATERIALS

- BR1 BRICK
- GL1 GLASS
- MTL1 METAL STEEL IN CHARCOAL
- PT1 PAINT, CHARCOAL
- CL1 WOOD CLADDING

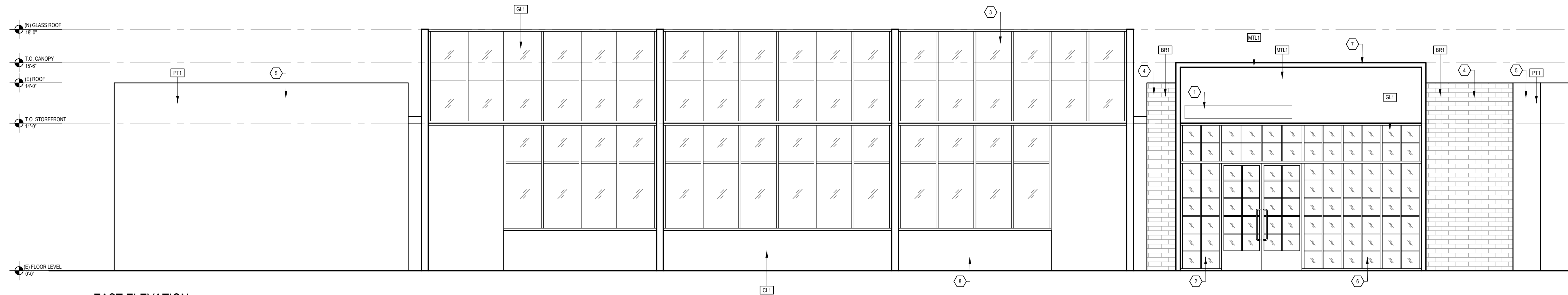
KEYNOTES

- ① SIGNAGE UNDER SEPARATE PERMIT.
- ② PROPOSED EXTERIOR DOOR.
- ③ STEEL STRUCTURE WITH CLEAR POLYCARBONATE ROOF SHEETING.
- ④ PROPOSED BRICK FACADE.
- ⑤ PREPARE EXISTING FACADE TO RECEIVE NEW PAINT.
- ⑥ NEW STOREFRONT.
- ⑦ PROPOSED STEEL CANOPY.
- ⑧ NEW LOW WALL AT THE HEIGHT OF 3 FEET.

LEGEND AND SYMBOL

— EXISTING SHOWN GRAY

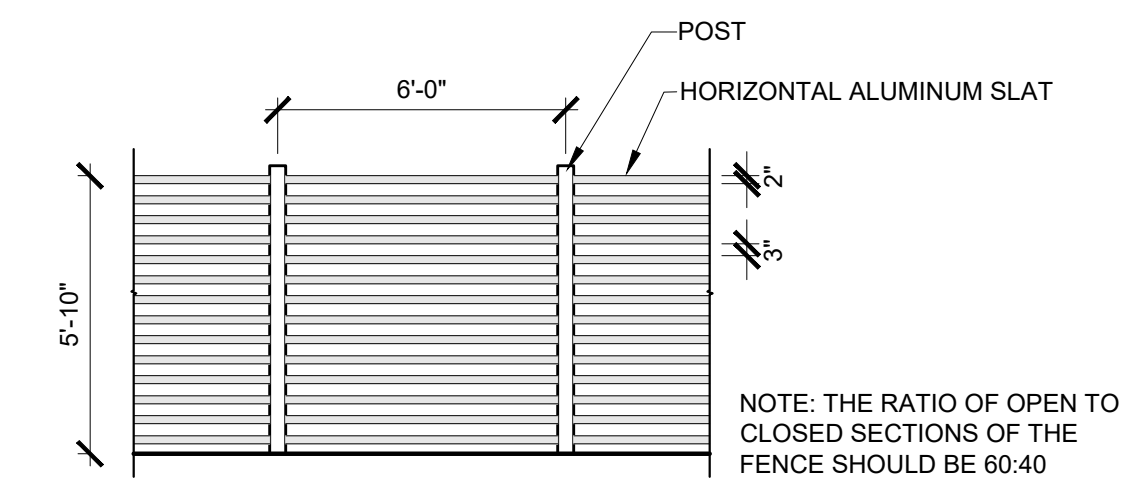
CONSULTANT



3 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



1 ALUMINUM SCREEN FENCE DETAIL
 SCALE: 1/4" = 1'-0"

12300 WASHINGTON BLVD
 LOS ANGELES, CA 90066

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PROJECT NO. 24-08

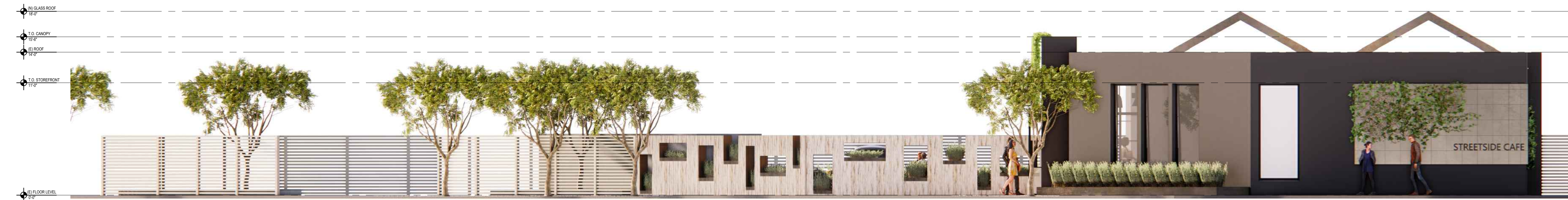
SHEET NUMBER:

A3.01

SHEET NAME:
EXTERIOR ELEVATIONS



4 EAST ELEVATION RENDERING
 SCALE: 3/16" = 1'-0"



3 NORTH ELEVATION RENDERING
 SCALE: 3/16" = 1'-0"



2 WEST ELEVATION RENDERING
 SCALE: 3/16" = 1'-0"



1 SOUTH ELEVATION RENDERING
 SCALE: 3/16" = 1'-0"

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PROJECT NO. 24-08

SHEET NUMBER:

A3.11

SHEET NAME:

EXTERIOR RENDERINGS



3 RENDERING OF PROPOSED DEVELOPMENT
SCALE: N.T.S.



2 RENDERING OF PROPOSED DEVELOPMENT
SCALE: N.T.S.



1 RENDERING OF PROPOSED DEVELOPMENT
SCALE: N.T.S.

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PROJECT NO.	24-08
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SHEET NUMBER:

A3.12

SHEET NAME:

EXTERIOR RENDERINGS